

# Code Red Roofers, Inc.

License #CCC1326574

License #CRC1326582

info@coderedroofers.com



Main Office: 1 (844) 4 - CODERED

1 (844) 426 - 3373

www.coderedroofers.com

Submitted To: Jupiter Lakes Villas/ Real Time Property Mgmt.	Date: July 28, 2021
Address: 431 Jupiter Lakes Blvd	Phone: (561) 253-4493
City: Jupiter	Email: Bwhite@realtimepam.com
Zip: 33458	

## Roof Proposal

We hereby submit specifications and estimates for:

- 1) Remove and discard existing non-structural gutters – **not to be replaced.**
- 2) Complete removal of existing roof materials down to plywood deck.
- 3) Inspect decking for damage; replace up to (200) 4'x8' sheets of plywood in total. If additional sheets are required, please see the Wood and Labor Addendum. **No credit will be given for unused sheets.**
- 4) Inspect decking for nailing patterns, re-nail to current code.
- 5) Installation of self-adhered underlayment (qualifies as secondary water barrier).
- 6) Installation of accessory metals, drip edge, valley metal, and pipe flashings.
- 7) Installation of Metro-Dade approved, fungus-resistant **Architectural shingles.**
- 8) Includes taxes, permit fee, trash removal, clean up, dump fees, labor, and materials.

**Warranty:** Roofing Contractor will supply a ten (10) year Limited Warranty upon completion of the project.

**Note:** Above scope of work is to be applied to 34 total buildings with 34 separate permits.

**Total contract price for 34 buildings: Eight Hundred Fifty-Five Thousand Eight Hundred \$855,800.00 (Initial)**

**Respectfully Submitted by Griffin Roe at Code Red Roofers**

This proposal may be withdrawn by CRR if not accepted by client within seven (7) days. A signed proposal can be voided by CRR if a deposit is not received within 2 weeks of signing.

A Project Manager will be assigned to your job to ensure high quality work.

Quoted price is a cash price includes all rebates and discounts. An additional 3.5% convenience fee will be added to payments made by credit card. Payment draws to be made as follows: 1/4 on contract acceptance, 1/4 prior to commencement, 1/4 upon 50% project completion, and 1/4 within 15 calendar days of project completion. **Completion is determined as the scope of work being substantially complete and ready for final inspection.** Owner may withhold an amount up to 10% of completion draw invoice, pending resolution of Corrective Work Request Form. Owner understands and agrees by signature below that such withholding of payment may jeopardize application of workmanship warranty, and that inspection scheduling is not within CRR's control. Outstanding balances may accrue finance charges at the statutory rate (currently 18% per annum).

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order and will become an extra charge over above estimate. All agreements are contingent upon strikes, accidents, or delays beyond our control.

**Cancellation Policy:** This contract may be cancelled within three (3) days of signing the contract, with the full deposit received being refundable. After that, any deposit received will be reduced by the greater of either, 1) the estimated gross profit expected to be achieved on completing the contract or 2) 10% of the contract amount plus the costs incurred up to the date the contract cancellation request was received.

### Acceptance of Proposal

By signature below, owner indicates they are aware that current project scheduling is subjected to additional delays outside of Code Red Roofers' control, including but not limited to material and labor shortages, and inclement weather. Time is of the essence in any major project such as roofing, and Code Red Roofers will make best efforts to advance schedule dates whenever possible. The stated prices, specifications and conditions are satisfactory and are hereby accepted. The Wood and Labor Addendum is also satisfactory and hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Owner Signature: Barbara Wela

Date: 7/28/21

Page 1 of 1

Southeast Florida  
3341 SE Slater St  
Stuart, FL 34997  
(772) 873 - 7825

Central Florida  
700 Avenue C SE  
Winter Haven, FL 33880  
(863) 845 - 3120

## Shingle Roof Material Selection Form

*The material options below are required to be completed at the time of contract signing.*

Underlayment: Self - adhered

Venting: N/A

Due to shingle shortage, shingle selections made at the time of signing cannot be guaranteed to be available at the time of purchasing material. Please select 3 options of shingles. If Option #1 is not available, we will purchase Option#2, and if Option #2 is not available, we will purchase Option #3. If your 3 selections are not available, we will purchase an equivalent option.

Shingle Selection:	Option #1	Option #2	Option #3
Manufacturer: <u>Tamko</u>			
Color: <u>Oxford gray</u>			
Drip edge (circle one): <u>White</u> OR Brown	White OR Brown	White OR Brown	White OR Brown

**Skylights:** (please check one) ☐ applicable ☒ NOT applicable

**All polycarbonate skylights will have bronze frames with bronze exterior/clear interior lens. Other polycarbonate skylight frame selections are subject to \$250.00 up charge. Glass skylight pricing available upon request.**

Current building code, revised in 2014 and required as of July 2015, specifies skylights must be mounted a minimum of 4" above the finished surface of the roof.

When skylights are removed to be replaced, despite best efforts, debris may fall to the interior of your home. Please make sure there is nothing below that could be damaged if this happens.

Sometimes interior drywall has been installed clear up to the skylight frame and to remove the skylight, our technicians may have to cut some of that drywall away. After the new skylight is installed, you may need to have the drywall repaired and repainted.

Owner understands and indicates by signature below that no contracts will be submitted for permitting or scheduled without completion of this form indicating selections, and/or approval of materials, if required, by a property owner's or homeowner's association.

Owner confirms that all material selection and terms stated on this page are approved and finalized. If the owner decides to change the material selection, a chargeable change order may occur.

Barbara Lela  
Signature

7/28/21  
Date

7/28/21

## Terms and Conditions

This agreement and any agreement pursuant hereto is between Code Red Roofers, Inc. herein referred to as "CRR" and the customer(s) name, herein on the Proposal, will be subject to all appropriate laws, regulations and ordinances of the State, the local jurisdiction and the following terms and conditions:

1. This agreement is composed of the Roofing Proposal, Terms and Conditions, Roof Material Selection Form, and Wood and Labor Addendum and all matters incorporated herein by reference and shall be considered the entire agreement by the parties.
2. All agreements are subject to the approval of a manager of CRR for this agreement to be effective under any conditions.
3. This agreement includes one (1) permit and one (1) NOC per building. (if each unit in a building requires a permit, cost will be additional based on each permit.)
4. This agreement cannot be cancelled once work is commenced except by mutual consent of both parties.
5. If taper system is required to promote positive drainage per building code, then additional cost of tapered insulation will be required.
6. CRR is not responsible for leaks related to aluminum pan roof transition, attachment, or structure.
7. Any representations, statements, or other communications not written on this agreement are agreed to be immaterial, and not relied on by either party, and do not survive the execution of this agreement.
8. If any provision of this agreement should be held to be invalid or unenforceable, the validity and enforceability of the remaining provisions of this agreement shall not be affected thereby.
9. CRR is not responsible for pre-existing construction deficiencies that manifest themselves during the construction process, i.e. wood rot, decking deflections, etc. If rot is found, refer to the wood and labor addendum for the pricing.
10. CRR assumes no responsibility for issues that may arise from the installation of self-adhered underlayment over areas where spray foam insulation has been installed on the roof deck subsurface, and strongly recommends Customer consult an engineer/design professional regarding issues that may result from sealed decking conditions prior to construction.
11. CRR is not responsible for damage to wires, conduits, disconnects and other structures/components/equipment in the attic area. CRR is not responsible for checking attic area for existing conditions.
12. Customer is responsible to arrange for removal/replacement of satellite, solar or other roof equipment requiring a technician. If not removed prior to construction, CRR will remove or contract with solar/plumbing/electrical professional, the cost of which will be invoiced to customer at cost + taxes + 35%.
13. Customer accepts there is a risk due to the excessive number of nails removed during the re-roofing process. CRR will use a magnet to sweep the perimeter of building, but it is understood all nails are not recoverable. The customer will not hold CRR responsible for the risk associated with loose nails.
14. Due to the unknown nature of the subsurface of driveways, CRR cannot be held responsible for any damage to the driveway resulting from normal activities involved in roofing such as tear-off, delivery and loading of materials.
15. Corrective Work Request form is due no later than 15 calendar days following the date of your completion draw billing.

## State of Florida Lien Law

According to Florida's Construction Lien Law (Sections 713.001-713.37, Florida Statutes), those who work on your property or provide materials and services and are not paid in full have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor or a subcontractor fails to pay subcontractors, sub-subcontractors, or material suppliers, those people who are owed money may look to your property for payment, even if you have already paid your contractor in full. If you fail to pay your contractor, your contractor may also have a lien on your property. This means if a lien is filed, your property could be sold against your will to pay for labor, materials, or other services that your contractor or subcontract may have failed to pay. To protect yourself, you should stipulate in this contract that before any payment is made, your contractor is required to provide you with a written release of lien from any person or company that has provide to you a "Notice to Owner"

Owner: Barbara Wela

By signing below, homeowner has read and agreed to all terms stated above.

Signature: Barbara Wela

Date: 7/28/21

[Signature]

7/28/21

## Wood and Labor Addendum

Refers to any wood that is required to be replaced or requested to be replaced by owner(s), at the time re-roofing is in process over and above allowances in the Roofing Proposal. Material that not replaced or is inaccessible, including but not limited to areas behind the structural gutter, will not constitute a material defect of the contract or installation. All fascia will be primed; painting is not included.

**WOOD:** (Prices are for common wood and include cost of wood, tax, and labor.) If Cedar or Rough Sawn Wood is required, add \$4.00 per linear foot to prices below. Additional fees will apply for two story, high gables, or areas difficult to access.

1x2" or 1x3" PT Fascia (usually under drip edge) ...	\$4.00 per linear foot	1"x 12" .....	\$11.00 per linear foot
1"x 4" .....	\$5.50 per linear foot	2"x 4" .....	\$10.50 per linear foot
1"x 6" .....	\$7.75 per linear foot	2"x 6" .....	\$13.00 per linear foot
1"x 8" .....	\$9.00 per linear foot	2"x 8" .....	\$13.75 per linear foot
1"x 10" .....	\$10.00 per linear foot	2"x 10" .....	\$14.25 per linear foot

### PLYWOOD-ROOF DECKING (per sheet or any portion thereof) (Tax and labor included)

This applies when more than the allowance, if any, is required due to rot or code.

- 1/2" CDX 4'x 8' sheet .....\$93.00 per sheet
- 5/8" CDX 4'x 8' sheet .....\$103.00 per sheet
- 3/4" CDX 4'x 8' sheet .....\$113.00 per sheet

### UNPREDICTABLE AND OTHER CONDITIONS, INCLUDE BUT ARE NOT LIMITED TO:

- Fascia, that is covered by vinyl or metal or sub-fascia or rotted beams where replacement is required.
- Soffit work that is an integral part of the fascia.
- Structural gutters that require removal to facilitate replacement of rotted fascia, etc.
- Roof deck not sufficiently thick to hide nails required by code.
- Any work not included in the first page of the Proposal/Contract, or not listed above.

**Additional work due to unpredictable conditions will be invoiced as follows:** Cost of materials + taxes + 35 %, labor will be \$80.00 per man-hour for Carpentry work and \$45.00 per man-hour for Helpers.

### OTHER CONDITIONS:

- More than one (1) layer of roofing, such as asphalt shingle, found during tear-off..... \$50.00/square
- More than one (1) layer of underlayment found during tear off.....\$20.00/square
- Existing self-adhered underlayment direct to deck may require a change in scope of work.....to be quoted accordingly at time of discovery
- Engineering work required by local building code or officials for permitting and/or upon inspection.....\$750.00
- Permit revisions requested by owner to alter original scope of work.....at cost of permit/expediting +35%

Any invoices presented to owner(s) for additional work will be due and payable upon receipt.

## Wind Mitigation – Roof to Wall Connections

Due to the Wind Mitigation form insurance companies are requiring for insurance discounts, Code Red Roofers, Inc herein referred to as "CRR" offers additional services for homeowners interested in their roof to wall connection credit.

**Preliminary inspection:** Inspection of 6 consecutive trusses. If your attic is easily accessible, we will check six consecutive trusses. If the attic space is not conducive, we will remove the plywood from the roof deck during the removal of your existing roofing material. This allows us to investigate 6 consecutive trusses from the topside of the roof. However, this is not a complete inspection but follows the guidelines of what the insurance companies are currently requesting. If any connections are found deficient, we recommend making corrections.

**Full perimeter inspection of eaves (no gables):** Inspection of the all the attachments. This should be done to all homes that find any deficient connections on the six consecutive trusses or the client who desires a complete inspection. Damage may occur to the wood decking during the removal process. This wood will need to be replaced. See the Wood and Labor addendum for pricing.

**Adding nails to existing connectors:** Many clips or straps are missing nails and become compliant with the addition of nails.

**Adding Retro Simpson Clips:** If the investigation finds connectors missing, we can add retro clips. To add straps, sometimes it creates additional soffit, siding, or drywall work. Each home must be investigated separately. Prices below do not reflect any work associated with soffit, siding, or drywall work. Extensive retrofitting may require the input of an engineering professional and/or residential construction firm. Extensive retrofitting will also most certainly cause delays in the reroofing process.

All straps or clips are required to have a specified number of nails and a specified attachment method to meet mitigation requirements. Despite best efforts, we cannot guarantee that all areas will be accessible and therefore all connections will have mitigation credits applied. CRRs cannot be held responsible for any structural elements installed during construction of your home and does not guarantee discounts due to any mitigation credits during the reroofing process. Also, owner(s) understands and indicates by signature below that CRRs cannot be held responsible for unseen conditions, inaccessible areas, or oversight by the technicians.

Residential structures which have an **improved value of \$300,000** or more must have the roof to wall connections enhanced, where required, to comply with the current building code. The roof permit will not be finalized if the roof does not meet code. The roof to wall connections must be enhanced by up to 15% additional cost of the re-roofing cost.

### Rates are as follows: (please initial appropriately below)

1. Preliminary Inspection: inspect 6 consecutive roof to wall connections.....\$150.00
2. Full Perimeter Inspection on eaves (no gables); add missing nails if necessary, to existing connections.....\$10.00/LF  
If any connections are missing, add new Simpson Retro Clips .....\$35.00/connector
3. I am not interested but I understand that my roof to wall connections may need to be enhanced to meet the current building code and additional cost may occur.

Signature:

*Barbara Uelo*

Date:

7/28/21



PERMIT NUMBER: \_\_\_\_\_

**NOTICE OF COMMENCEMENT**

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. **DESCRIPTION OF PROPERTY** (Legal description of the property & street address, if available) **TAX FOLIO NO.:** \_\_\_\_\_

**SUBDIVISION** \_\_\_\_\_ **BLOCK** \_\_\_\_\_ **TRACT** \_\_\_\_\_ **LOT** \_\_\_\_\_ **BLDG** \_\_\_\_\_ **UNIT** \_\_\_\_\_

2. **GENERAL DESCRIPTION OF IMPROVEMENT:**

Reroof

3. **OWNER INFORMATION OR LESSEE INFORMATION IF THE LESSEE CONTRACTED FOR THE IMPROVEMENT:**

a. Name and address: \_\_\_\_\_

b. Interest in property: Owner

c. Name and address of fee simple titleholder (if different from Owner listed above): \_\_\_\_\_

4. **a. CONTRACTOR'S NAME:** Code Red Roofers, Inc.

Contractor's address: 3341 SE Slater St, Stuart FL 34997 b. Phone number: 772-287-2829

5. **SURETY** (if applicable, a copy of the payment bond is attached):

a. Name and address: \_\_\_\_\_

b. Phone number: \_\_\_\_\_ c. Amount of bond: \$ \_\_\_\_\_

6. **a. LENDER'S NAME:** \_\_\_\_\_

Lender's address: \_\_\_\_\_ b. Phone number: \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes:

a. Name and address: \_\_\_\_\_

b. Phone numbers of designated persons: \_\_\_\_\_

8. a. In addition to himself or herself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

b. Phone number of person or entity designated by Owner: \_\_\_\_\_

9. Expiration date of notice of commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_, 20\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**



(Signature of Owner or Lessee, or Owner's or Lessee's Authorized Officer/Director/Partner/Manager)

(Print Name and Provide Signatory's Title/Office)

State of \_\_\_\_\_

County of \_\_\_\_\_

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization,

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

by \_\_\_\_\_, as \_\_\_\_\_  
(name of person) (type of authority, ...e.g. officer, trustee, attorney in fact)

for \_\_\_\_\_  
(name of party on behalf of whom instrument was executed)

Personally Known ☐ or Produced Identification ☐ Type of Identification Produced \_\_\_\_\_

(Signature of Notary Public)

(Print, Type, or Stamp Commissioned Name of Notary Public)



## ROOFING FORM 300

### Palm Beach County Building Division

## Owner's Notification of Re-roofing Considerations

It is the responsibility of the roofing contractor to provide the owner with the required re-roofing permit, and to explain to the owner the content of this form. The provisions of Chapter 15 of the *Florida Building Code, Building*, Chapter 9 of the *Florida Building Code, Residential*, and Chapter 6 of the *Florida Building Code, Existing Building* govern the minimum requirements and standards of the industry for roofing system installations, as they apply. Additionally, the following items should be addressed as part of the agreement between the owner and the contractor. The owner's initials placed in the designated space, indicates that the item has been explained.

#### Owner's Initials

BV

**1. Aesthetics-workmanship:** The workmanship provisions of the Chapters cited above are for the purpose of providing that the roofing system meets the wind resistance and water intrusion performance standards. Aesthetics (appearance) are not a consideration with respect to the code related workmanship provisions. Aesthetic issues such as color or architectural appearance, should be addressed as part of the agreement between the owner and the contractor.

BV

**2. Re-nailing and replacement of wood decks:** When replacing roofing, the existing wood roof deck may have to be re-nailed in accordance with the current provisions of Chapter 16 of the *Florida Building Code, Building*. (The roof deck is usually concealed prior to removing the existing roof system.) In some cases, deteriorated decking may need to be replaced. Spaced sheathing may need to be sheathed-over or replaced with solid sheathing, if required for the new roofing system.

BV

**3. When replacing a lighter-weight roof covering with a heavier system,** such as concrete or clay tile, an engineering evaluation and certification may be required, if no previously permitted and approved plans can attest to the structural adequacy of the roof framing system.

BV

**4. Hurricane Mitigation:** When a roof covering on an existing site-built single-family residential structure that has an insured or a taxation assessed value of \$300,000 or more is removed and replaced, roof to wall connections shall be improved up to 15% of the cost of re-roofing.  
Exceptions:

- Unless constructed under the FBC,
- Constructed originally with an application date on or after Jan. 1, 1988,
- Documentation from a design professional is provided demonstrating compliance of existing load path connections (with method used to determine compliance provided), or
- Evaluation and installation of connections at gable ends or all corners cannot be completed for 15 percent of the cost of roof replacement (documentation justifying must be provided).

BV

**5. Common roofs:** Common roofs are those which have no visible delineation between neighboring units (i.e., townhouses, condominiums, etc.). In buildings with common roofs, the roofing contractor and/or owner should notify the occupants of adjacent units, of roofing work to be performed, and provide a letter from the HOA acknowledging the partial re-roof.

BV

**6. Exposed ceilings:** Exposed, open beam ceilings are where the underside of the roof decking can be viewed from below. The owner may wish to maintain the architectural appearance; therefore, roofing nail penetrations of the underside of the decking may not be acceptable. The owner should cite the need to the contractor to maintain this appearance.



## ROOFING FORM 300

### Palm Beach County Building Division

## Owner's Notification of Re-roofing Considerations

(Cont'd.)

#### Owner's Initials

BV

**7. Ponding water:** After a rain event, some water may remain on a roof and be evaporated within a short period of time. However, the current roof system and/or deck of the building may not drain well and may cause water to pond (accumulate) in low-lying areas of the roof. Ponding can be an indication of structural distress and may require the review of a professional structural engineer. Ponding may shorten the life expectancy and performance of the new roofing system, if the system is not designed to allow ponding. Ponding conditions may not be evident until the original roofing system is removed. Ponding conditions should be addressed.

BV

**8. Overflow scuppers (wall outlets):** It is required that rainwater flows off of a roof, so that the roof is not overloaded from a buildup of water. Perimeter/edge walls or other roof extensions may block this discharge, if overflow scuppers (wall outlets) are not provided. If required, and overflow scuppers were not required in the original construction, it may be necessary to install them to prevent the overloading of the roof.

BV

**9. Ventilation:** Most roof structures should have some ability to vent natural airflow through the attic area. The required amount of attic ventilation shall be maintained. Adequate ventilation can play an important role in extending the life of the roof.

Barbara Hela

Owner's/Agent Signature

7/28/21

Date

[Signature]

Contractor's Signature

7/28/21

Date

A

# PREMIUM ROOF REPORT



## ADDRESS

431 Jupiter Lakes Blvd, Jupiter, FL, US

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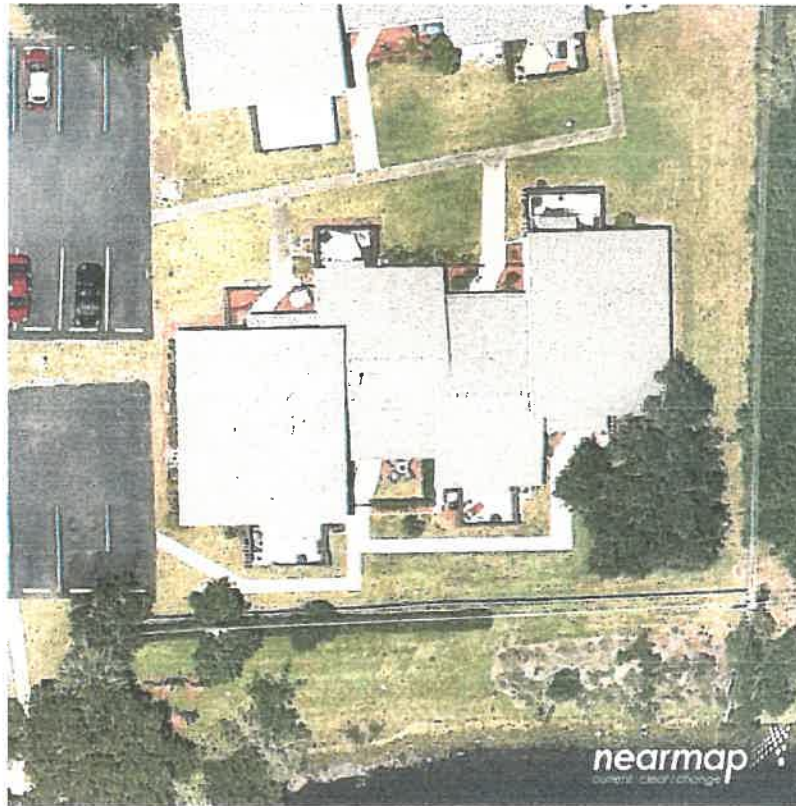
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Page 5	Length Diagram
Page 6	Pitch Diagram

Prepared on: July 20th, 2021  
Prepared by: Code Red Roofers  
3341 SE Slater St  
Stuart FL, US  
tel: 772-480-3896  
Email: [info@coderedroofers.com](mailto:info@coderedroofers.com)

BV



# PREMIUM ROOF REPORT



## ADDRESS

431 Jupiter Lakes Blvd, Jupiter, FL, US

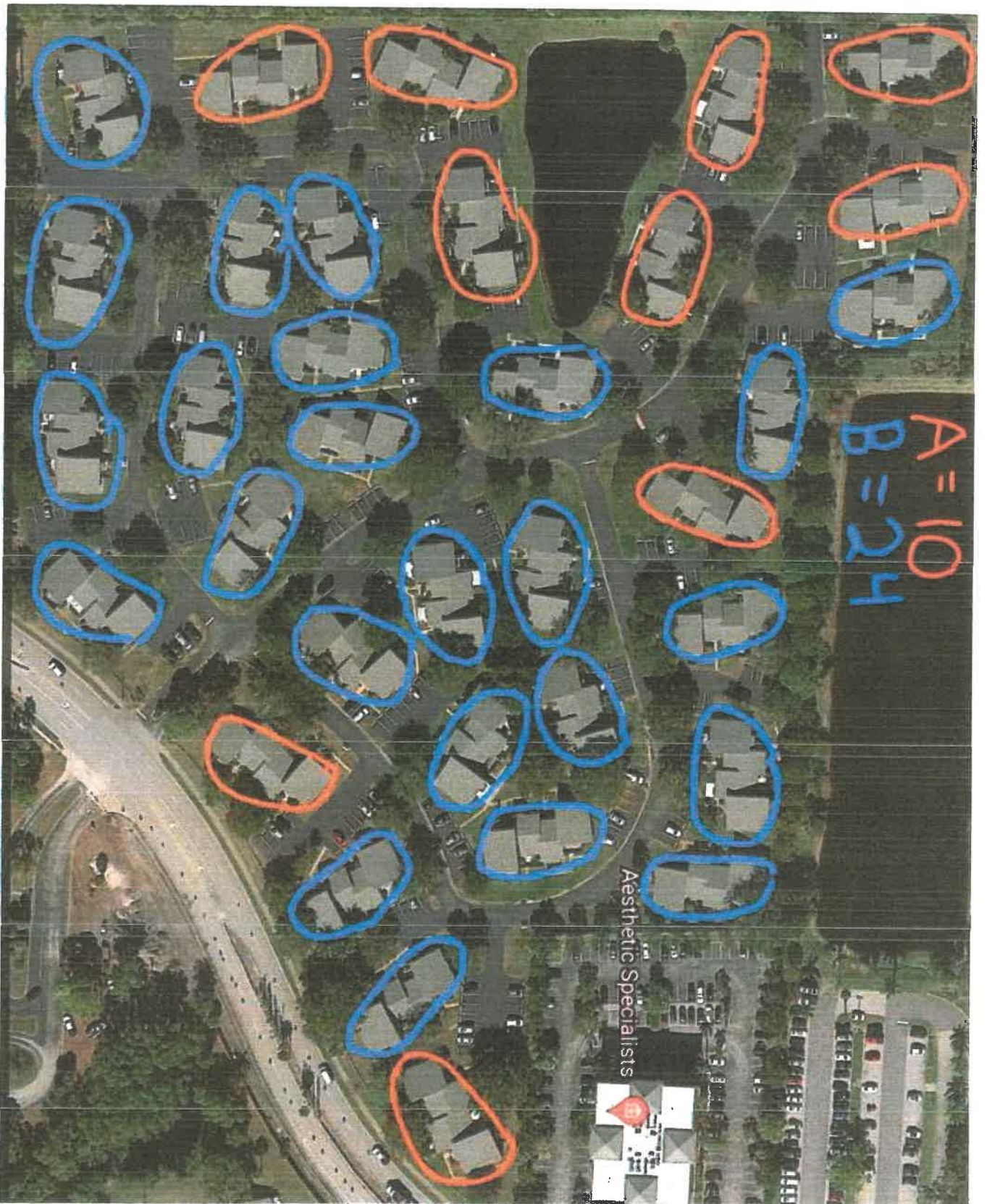
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Prepared on: July 20th, 2021  
Prepared by: Code Red Roofers  
3341 SE Slater St  
Stuart FL, US  
tel: 772-480-3896  
Email: info@coderedroofers.com

BV





BY

*[Signature]*